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Zoning Data

Zone:	R-30		
Use:	One Family Residence		
	Required By Code	Existing	Provided
Lot Area	30,000 sf	50,942.91 sf	No Change
Lot Width	125'	200'	No Change
Set Backs			
Front	35'	30.12'	35.3' To Addition
Side	18'	41.56'	No Change
Total of Both	38'	112.56'	131.56'
Rear	36'	183'	194' To Addition
Building Hgt	2 1/2 Sty or 35'	14'-0"	No Change
Building Coverage	20 %	1,472 SF / 2.84 %	2,455 SF / 4.82 %

2020 Residential Code Of New York State

Ground Snow Load	Wind Design				Seismic Design Category	Subject To Damage From			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature
	Speed (mph)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone		Heathering	Frost Line Depth	Termite					
30 lb/ft	115 - 120 mph	No	Yes	Zone I	B	Severe	42"	Moderate Heavy	7° F	Yes	No	1500 or Less	52.2 F

Manual J Design Criteria								
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference	
436	41	7	81	1	68	75	61	
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity		
12	20.4	7.5	7.5	M	30	55		

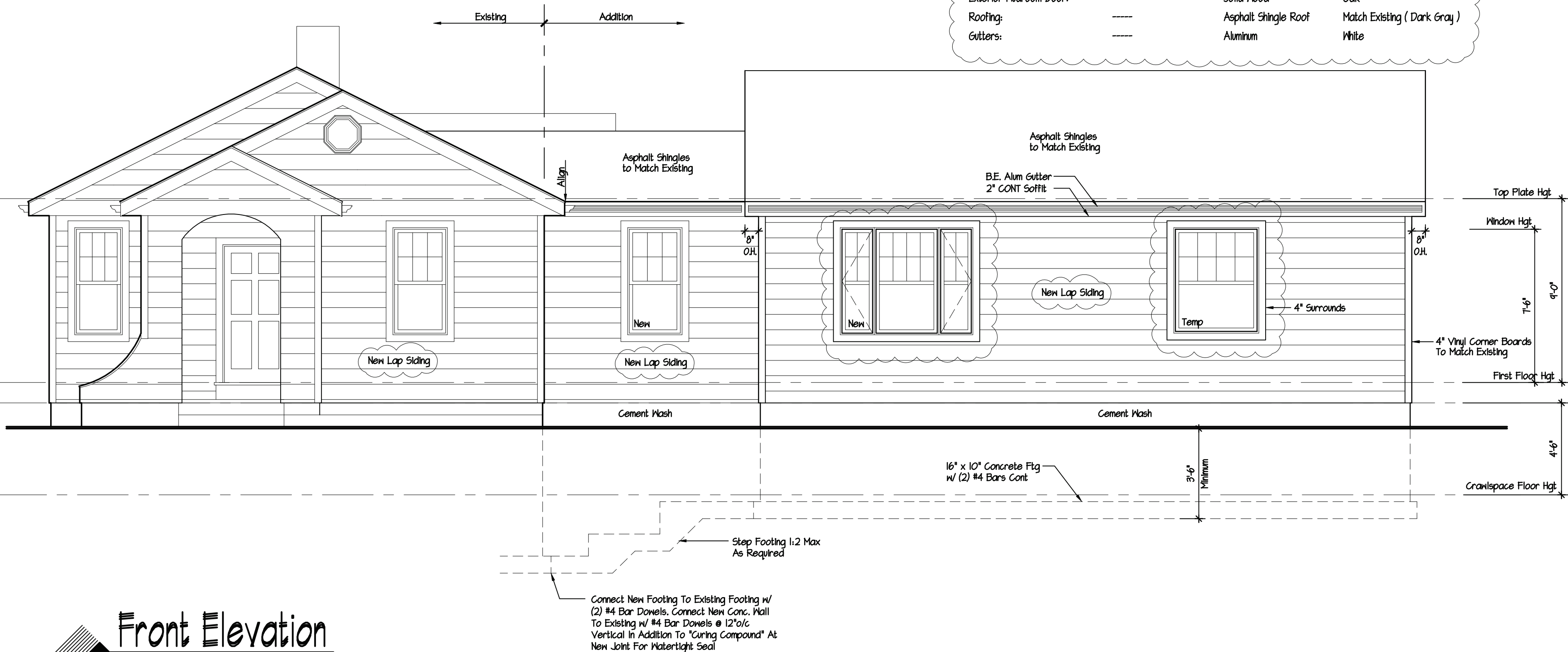
Insulation And Fenestration Requirements By Component Table R402.1.2										
Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value And Depth	Crawl Space Wall R-Value
4	0.21	0.50	0.4	49	21 Int. Or 20+5 Or 13+10	15/20	30	15/19	10, 4 Ft	15/19

Insulation Note:

Prescriptive Insulation Method To Be Used
No Rescheck Required
See Table R402.1.2 Of The NYStretch Energy Code 2020

Schedule For Proposed Building Material and Color Scheme

	Name:	Type:	Color:
Siding:	Hardie-Plank	Cementitious Lap Siding	Pale Green
Windows:	Andersen	Double Hung	White
Trim:	Azek	Composite	White
Front Door:	----	Existing	----
Exterior Laundry Room Door:	----	Solid Wood	Dark Green
Exterior Mudroom Door:	----	Solid Wood	Oak
Roofing:	----	Asphalt Shingle Roof	Match Existing (Dark Gray)
Gutters:	----	Aluminum	White



Front Elevation

Scale: 1/4" = 1'-0"

Construction Type Note:

As Per Title 19 NYCRR Part 1265

Provide Label As Shown Below



V = Construction Type
As Per Section 602 of BCNYS

FR = Floor And Roof Framing
As Per Designation For Structural Components That Are Of Truss/ Engineered Type Construction

Size:

6" Diameter Circle

Color:

Circle To Be 1/2" Stroke - Reflective Red Pantone #187
Inner Circle - Reflective White
Text - Reflective Red Pantone #187

Sign Location:

The Sign Or Symbol Required Shall Be Affixed To The Electric Box Attached To The Exterior Of The Residential Structure.
See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

DeMasi Architects P.C.

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Addition For

83 Morningside Dr
Ossining, NY

Zoning Data 7/12/24

Comments 7/10/24

Revision Date

Date Feb 21, 2024

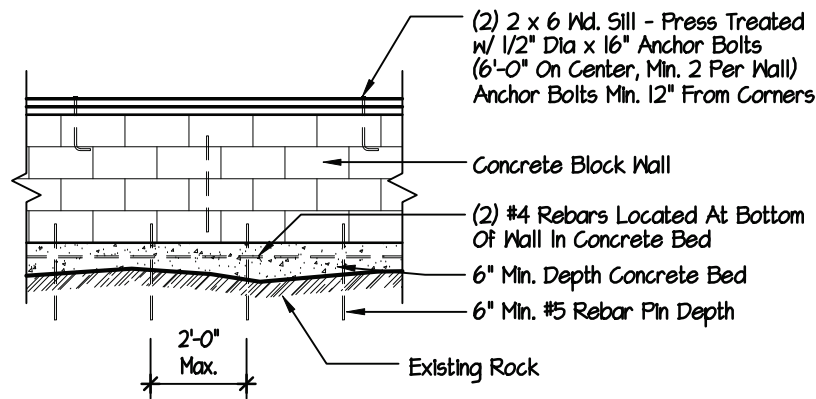
Job No 223 - 171

Drawing 1 OF 7

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Note:
Run Vertical #4 Rebars Between Every Third Course Of Blocks

Rock Pinning Detail

Scale: 1/4" = 1'-0"

New Cellar

4" Concrete Slab
9" R-30 Insul @ Ctg Above
(Insul All Pipes & Ducts Below Insul)

8" Concrete Block Wall
on 16" x 10" Concrete Ftg
w/ (2) #4 Bars Cont

New Bilco Door &
Pre-Cast Steps

Steps Up
To Grade

Existing Foundation Wall

Existing Cellar

Existing Foundation Wall

Remove Cellar Wall As Shown
Connect New Footing To Existing
Footing w/ (2) #4 Bar Dowels.
Connect New Conc. Wall To Existing
w/ #4 Bar Dowels @ 12" o/c Vertical
In Addition To "Curing Compound" At
New Joint For Watertight Seal

Connect New Footing To Existing
Footing w/ (2) #4 Bar Dowels.
Connect New Conc. Wall To
Existing w/ #4 Bar Dowels @
12" o/c Vertical In Addition To
"Curing Compound" At New Joint
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For Watertight Seal

Basement Plan

Scale: 1/4" = 1'-0"

Window Note:

- All Glazing To Be Low "E" Insulated Glass w/ Minimum R-3.1 (U=0.32).
- All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
- All Glazing In Doors & Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
- All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sf Total w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
- All Windows or Doors Marked w/ "TEMP" To Have Full Unit Tempered.
- All Windows Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Legend

- Existing Wall
(To Remain)
- New Conc Wall

Notes:

All Footings To Bear 12" Below Solid Undisturbed Earth
All Framing Members To Be # 2 Douglas Fir- Larch Or Better
Double Frame Under All Partitions Parallel To Framing
Double All Box Joist At Cellar Type Windows
If Tile Floor Is To Be MUD Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
Smoke Detector w/ Battery Back-Up
Carbon Monoxide Det w/ Battery Back-Up
Recessed Light Fixture

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hdr
Up To 4'-0"	(2) 2 x 10 Hdr
Up To 6'-0"	(3) 2 x 10 Hdr

Note:
Unless Otherwise Noted On Plans

Addition For

83 Morningside Dr
Ossining, NY

Revision Date

Date Feb 21, 2024

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Drawing

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DeMasi Architects P.C.

105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549



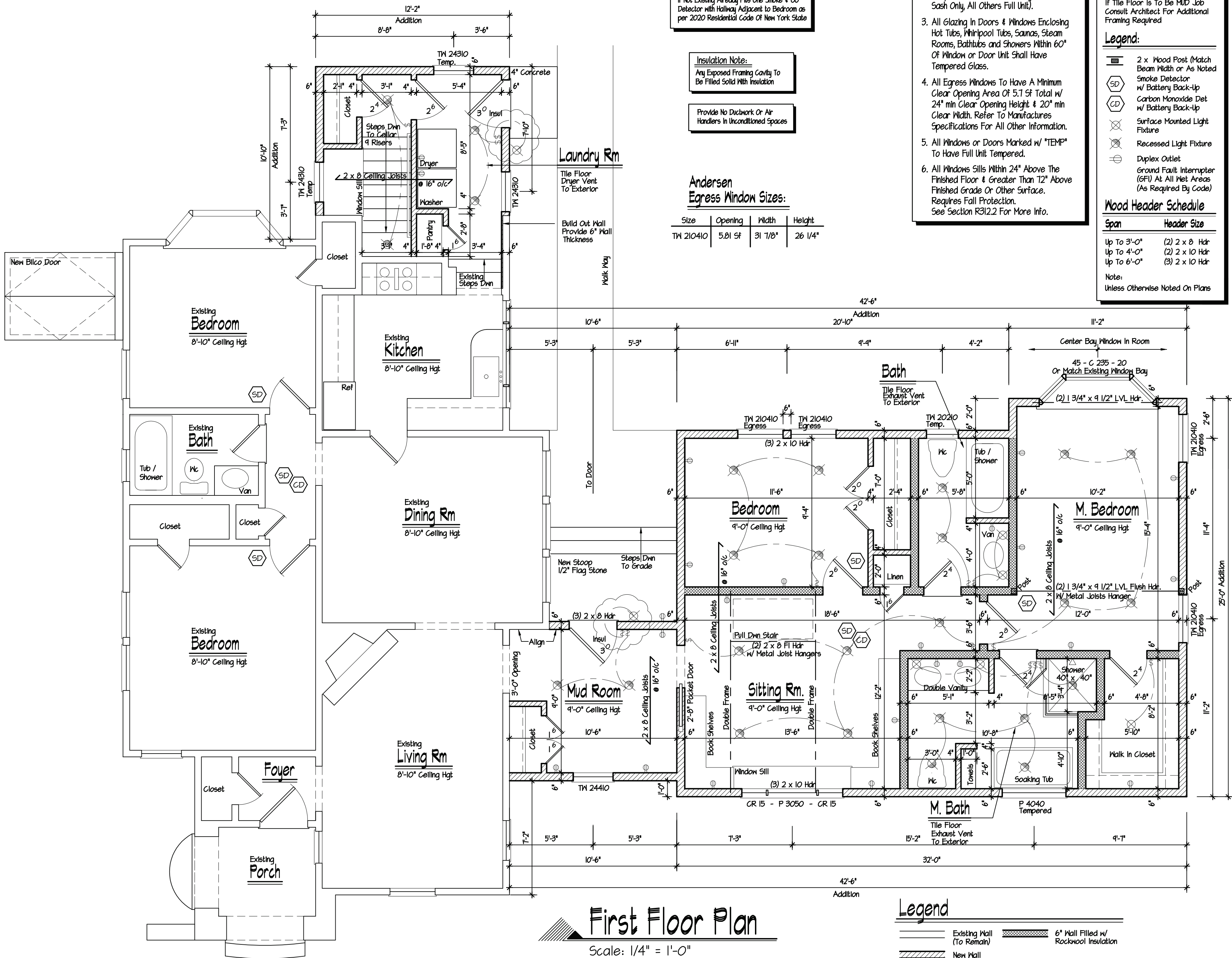
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REGISTERED ARCHITECT
STATE OF NEW YORK
031061
L. DEMASI

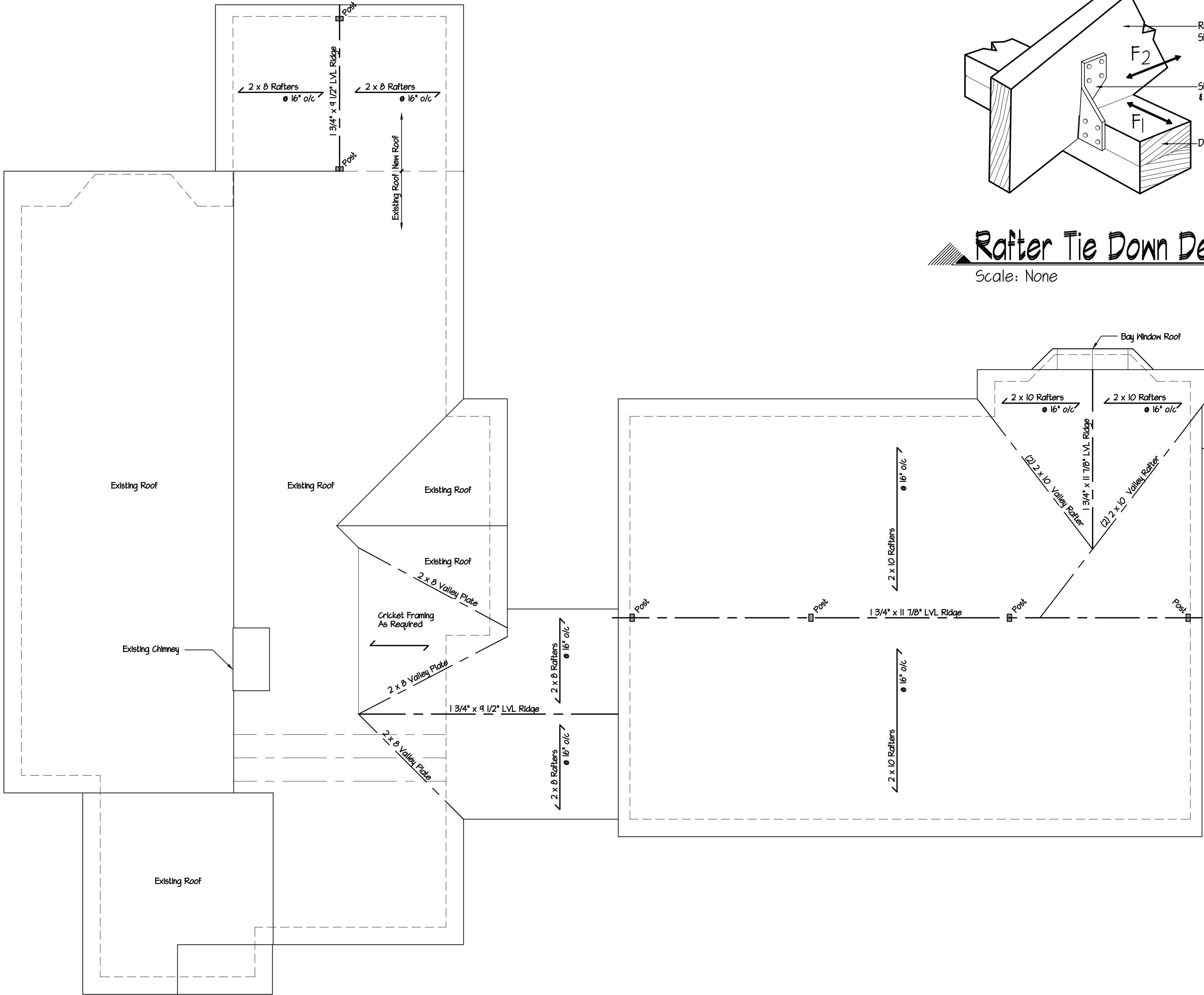
Addition For
83 Morningside Dr
Ossining, NY

Comments	7/10/24
Revision	Date
Date	May 17, 2024
Job No	223 - 171
Drawing	3 OF 7

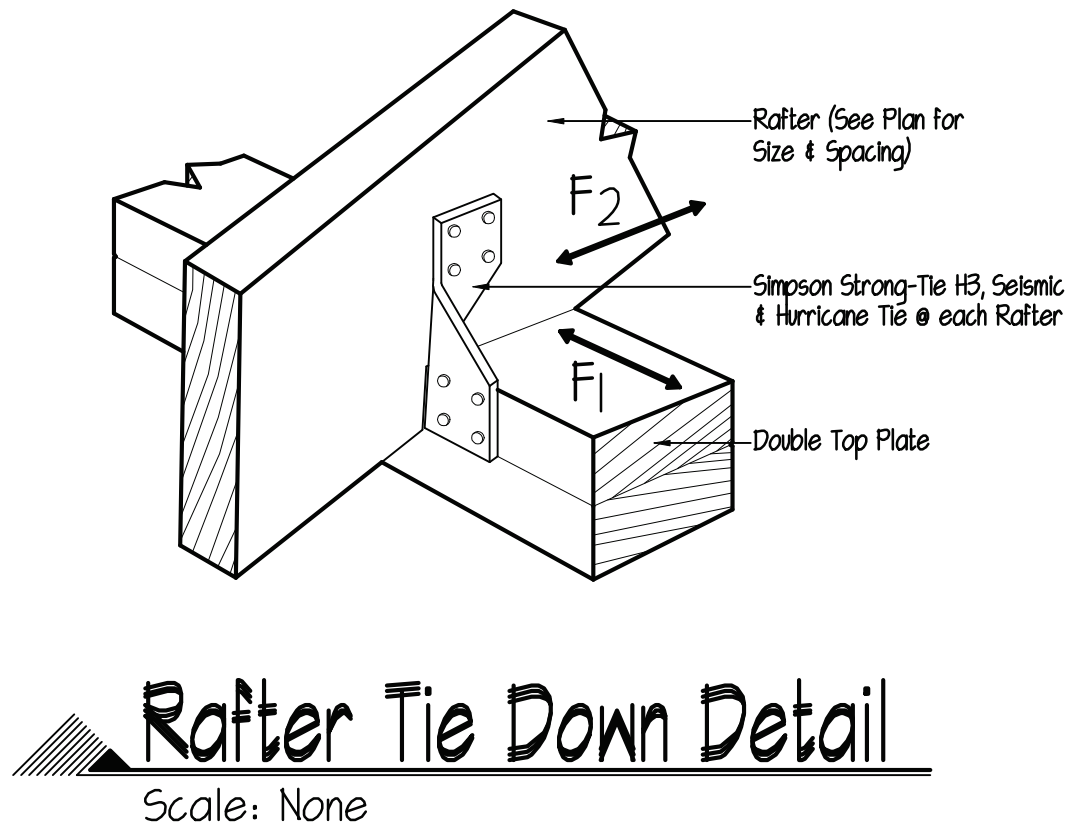
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Roof Framing Plan
Scale: 1/4" = 1'-0"



Addition For

83 Morningside Dr
Ossining, NY

Revision Date

Date Feb 21, 2024

Job No 223 - 171

Drawing

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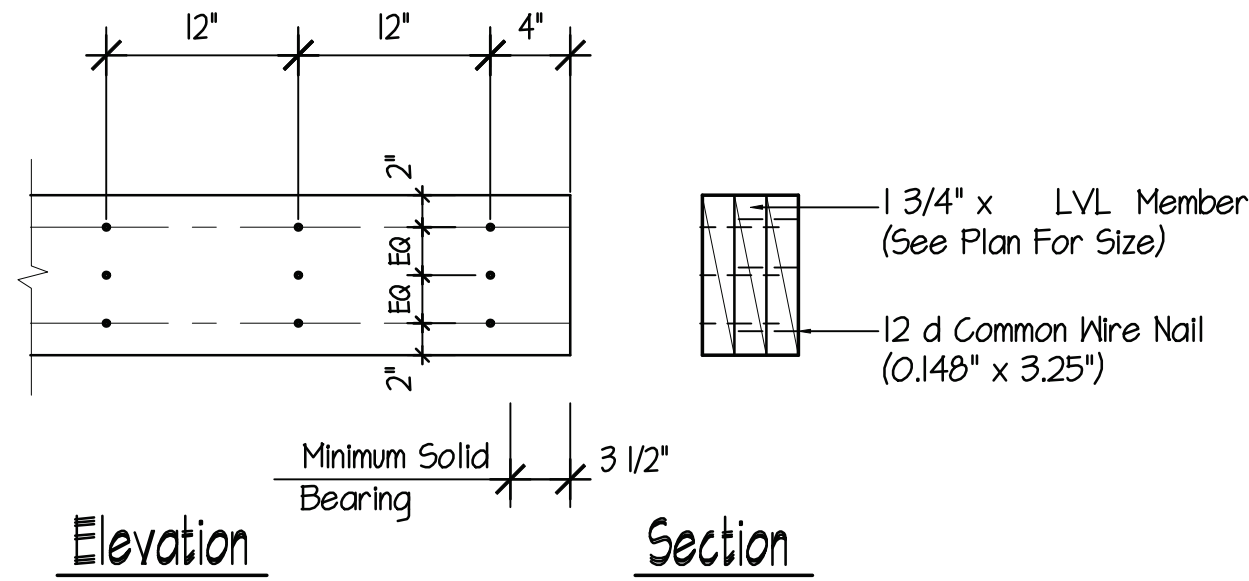
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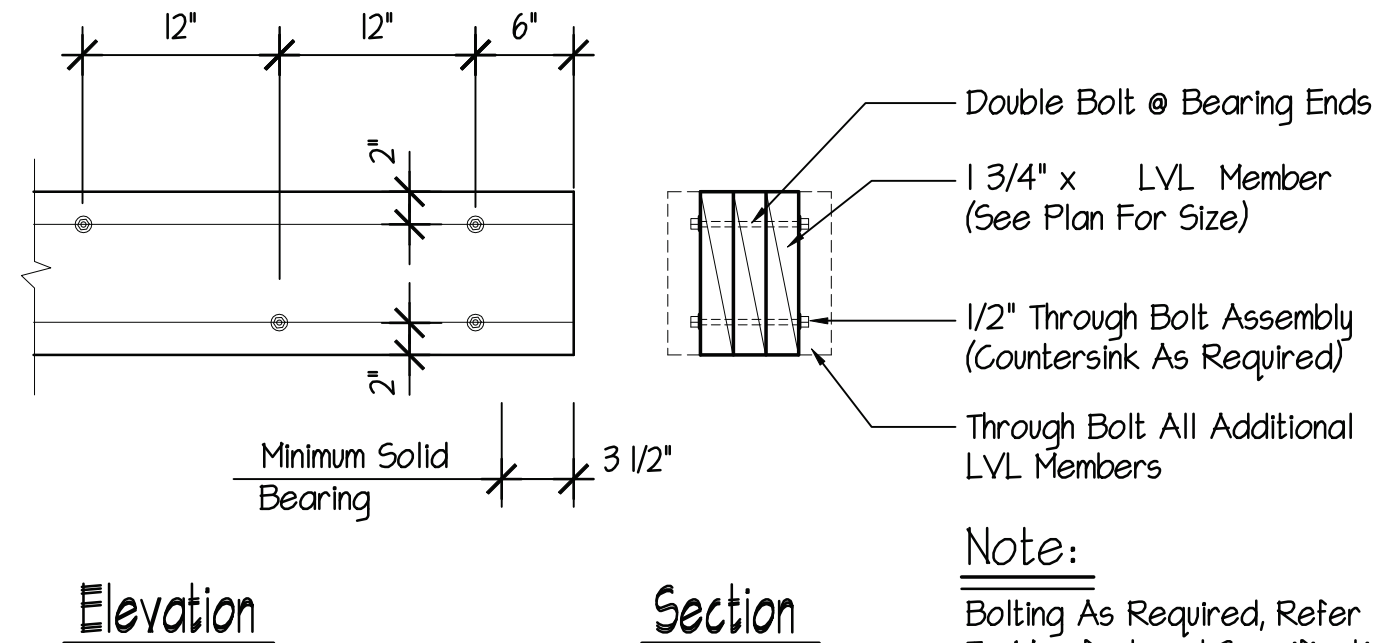
LVL = Laminated Veneer Lumber
By Trus-Joist Weyerhaeuser (1.9 E)
Minimum or Equal

Note:

See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Nailed)

Scale: 1" = 1'-0"



Elevation

Section

Note:

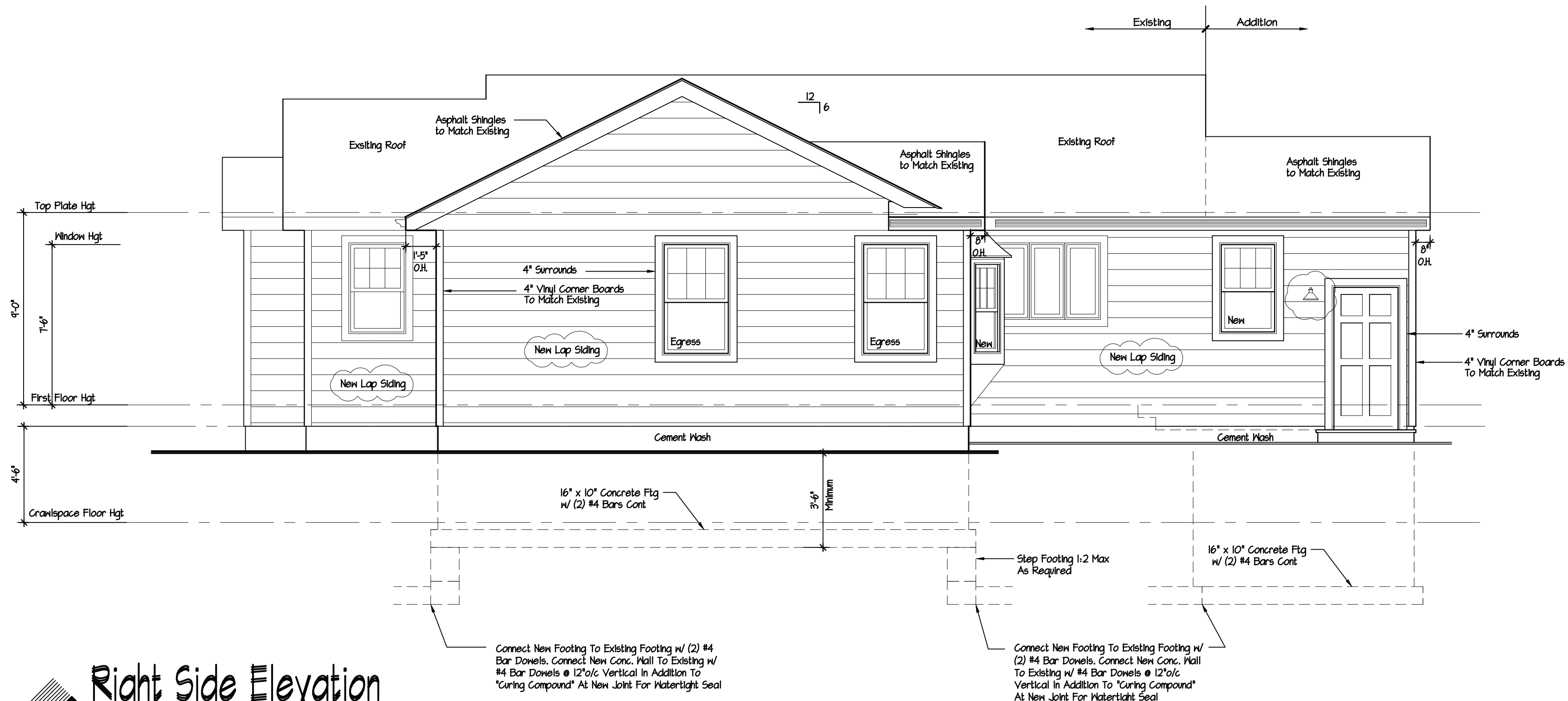
Bolting As Required, Refer
To Manufactured Specifications
For All Information & Specifics

Note:

See Plans For Size & Location
Of All LVL Members

LVL Beam Detail (Bolted)

Scale: None



Right Side Elevation

Scale: 1/4" = 1'-0"

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Addition For

83 Morningside Dr
Ossining, NY

Comments 7/10/24

Revision Date

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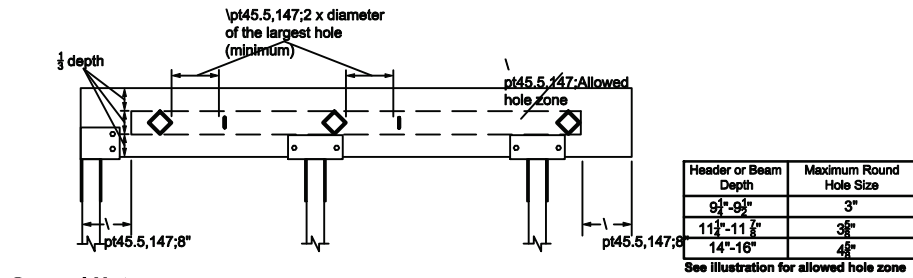
5 OF 7

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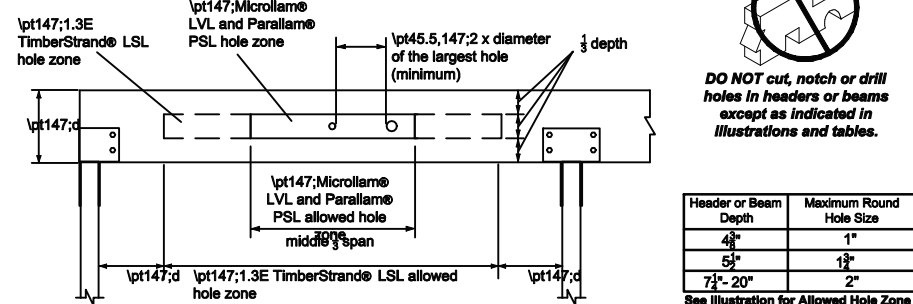
ALLOWABLE HOLES - Headers and Beams
1.55E TimberStrand® LSL Headers and Beams



General Notes

- Allowed hole zone suitable for headers and beams with uniform and/or concentrated loads.
- Round holes only
- No holes in headers or beams in plank orientation.

Other iLevel® Trus Joist® Headers and Beams



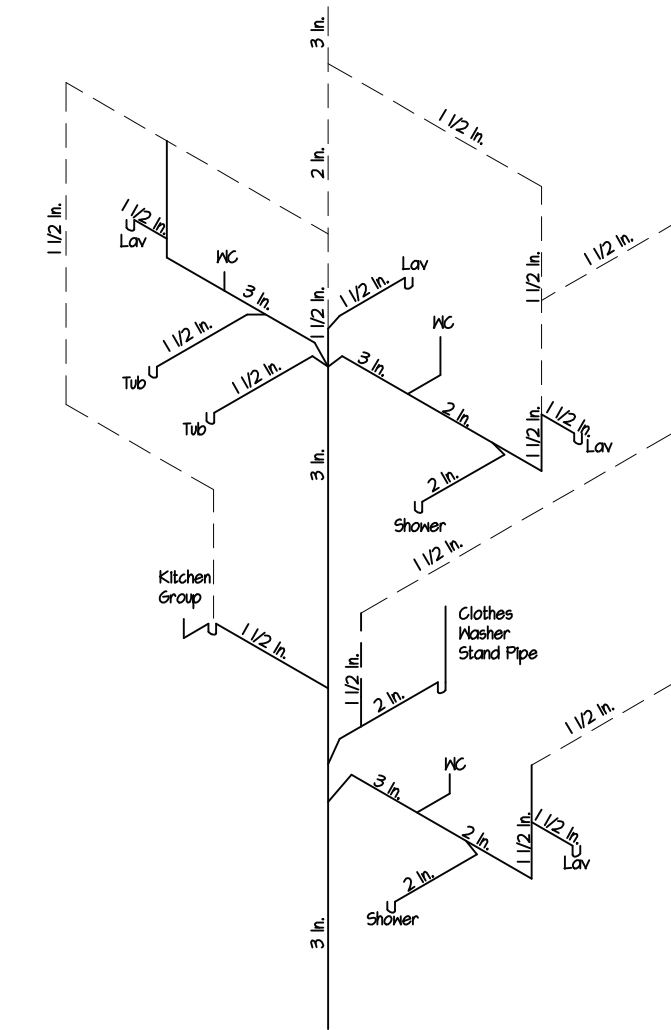
General Notes

- Allowed hole zone suitable for headers and beams with uniform loads only.
- Round holes only
- No holes in cantilevers.
- No holes in headers or beams in plank orientation.

See Weyerhaeuser For Other Specifications

ALLOWABLE HOLES - Headers & Beams

NO SCALE

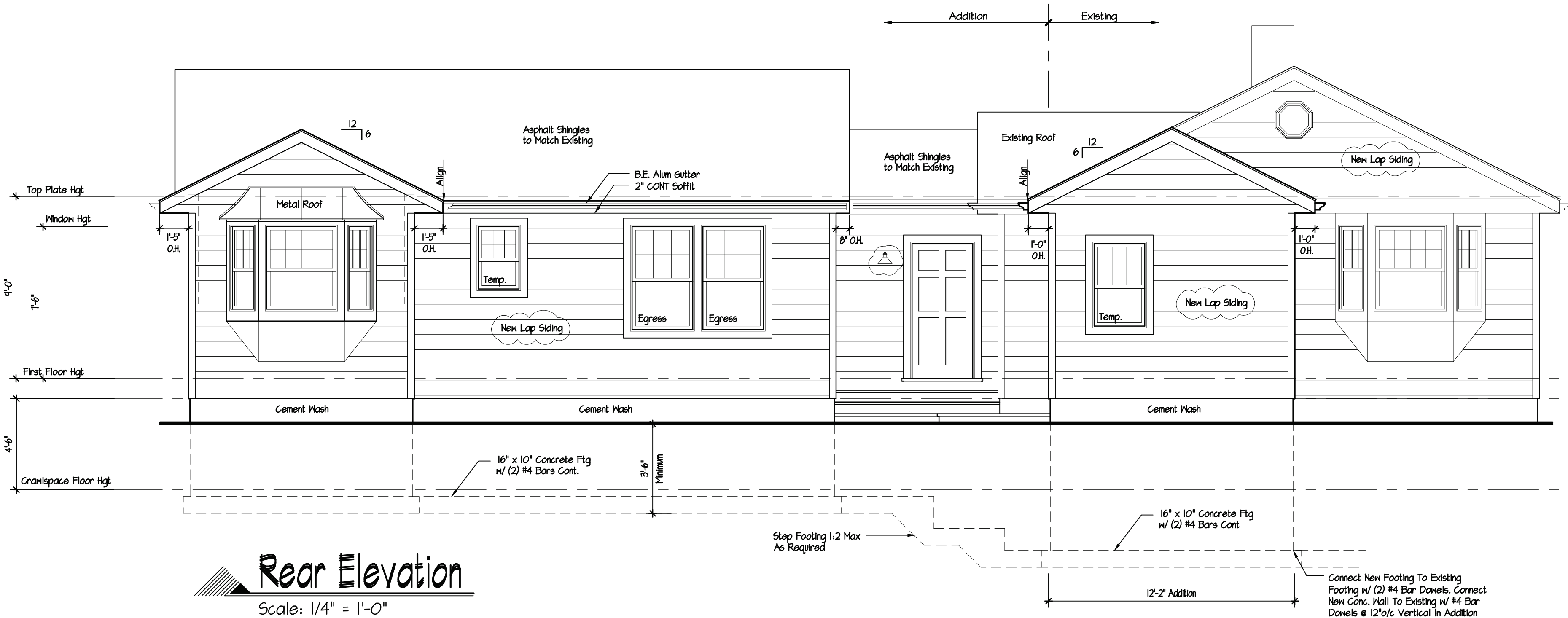


Typical Plumbing Riser Diagram

Scale: None

Riser diagram taken from "2020 Residential Code Of New York State"
Figure N5, Refer to diagram for all other information

Note:
Plumbing riser diagram shown is generic,
and should be used only for informational
purposes. Plumbing contractor to install
plumbing system as per state & local
building codes.



Rear Elevation

Scale: 1/4" = 1'-0"



Addition For

83 Morningside Dr
Ossining, NY

Comments 7/10/24

Revision Date

Date Feb 21, 2024

Job No 223 - 171

Drawing

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General Conditions:

SPECIFICATIONS: These specifications are made in general form only and not specifically for any one building. The owner applying these specifications, assumes complete responsibility for their use, changes, or omissions.

SCOPE OF WORK: The Contractor shall provide all labor, materials, appliances and equipment required to complete all work, etc., as shown on the drawings necessary for a complete job, unless otherwise specified. All material and workmanship shall be of good quality.

OMISSIONS: All written figures (notes and dimensions) on the floor plans or specifications shall take precedence over any drawn figures (elevations). Do not scale prints. All dimensions must be verified by the contractor before start of construction. Any discrepancies on the plans or specifications must be reported to the Architect prior to the start of construction.

CODES: All work and materials must conform to all local and The 2020 Residential Code Of New York State, National Board of Fire Underwriters, 2020 Energy Conservation Code Of New York State and requirements of the Board of Health.

ACCEPTABLE BUILDING STANDARDS: Installation of materials shall comply with industry standards as instituted by the national association or equivalent group of material used. Acceptable associations shall include, but are not limited to, the following: Western Wood Products Assoc., Cedar Shake & Shingle Bureau, Brick Industry Assoc., Tile Council of America, National Roofing Contractors Assoc. and American Concrete Institute, etc.

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ARCHITECT STATUS: Architect has not been retained by owner to provide periodic job inspections or job administration. Purchaser of the plans shall assume full responsibilities for any deviations or changes to these plans.

Excavation:

FOUNDATION: Excavate all earth, boulders, loose and soft rock to the lines and depths indicated on the drawings. All footings to bear on solid, undisturbed earth. Excavate for all utilities as required.

FOOTINGS: To bear 12" below line of solid undisturbed earth. Design of footings are based on 2,000 psi soil. If soil bearing conditions are questionable, contractor shall consult engineer for footing design. Sloped footings shall be 1:2 max. slope. Provide (2) #4 bars continuous (refer to wall section). All footings bearing from rock to soil shall be reinforced with (4) #5 bars (6' min. on both sides of joint). Dowel and pin all footings bearing on rock with a slope greater than 7:12 (30 degrees) w/ #4 dowels @ 24" o/c max.

FINISH GRADING: Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

Concrete & Masonry:

Weathering Condition: Severe

CONCRETE: Shall be a min. F'c = 3,000 psi compressive strength for footings & foundation walls and F'c = 3,500 psi compressive strength for porches, steps & garage floors. Concrete shall be "Air Entrained", total air content shall not be less than 5 % or more than 7 %. All concrete work shall conform to the latest American Concrete Institute (ACI) guidelines.

POURED CONCRETE FOUNDATION: Shall comply with the latest edition of American Concrete Institute Specification and shall be plumb, straight, level and true. Forms to be properly constructed to hold concrete. Provide (2) #4 bars located at top and bottom of wall. All reinforcing bars for concrete work shall conform to A.S.T.M. A615 grade 60.

DAMPROOFING: Foundation wall shall be damproofed with two (2) coats of asphalt waterproofing over 1/2" cement parge (block wall) or cement wash (poured wall). Provide 4" perforated pipe footing drain laid in 16" stone with layer of salt hay over. Drain to outflow above ground

DAMPROOFING: Provide a complete TUFF-N-DRI Exterior Foundation Waterproofing System as manufactured by KOCH MATERIALS COMPANY or equal. Provide 4" perforated PVC footing drain laid in 16" deep (min.) stone with a layer of salt hay over. Drain to outflow above ground, min. 30' from house, when not permitted, provide drywell.

DAMPROOFING: In areas of high water table or severe soil-water conditions are known to exist, provide 2-ply hot mopped felts, 55 pound roll roofing from top of footing to finished grade. All joints are to be lapped and sealed with adhesive.

Miscellaneous Metals:

STEEL: Shall conform to ASTM specification A-36 for structural steel.

ANCHOR BOLTS: Provide 1/2" dia. X 16" with hooked end. Bolts to be placed 6-0" o.c. max., 12" min. from corner and 2 bolts min. per sill. Consult Architect for anchoring in other seismic zone.

Carpentry:

FRAMING: Framing of the entire house shall be erected plumb, level and true, securely nailed. Joists, studs and rafters shall be doubled above all openings. All flush headers shall be connected with metal joist hangers. Double frame under all partitions parallel to framing. Sizes of joists, sheathing and rafters are shown on plans. Provide solid blocking under all posts. Contractor to provide all fire blocking at all stud wall over 10'-0" high or all horizontal framed spaces at 10'-0" intervals max.

TERMITE SHIELD: Shall be bent aluminum with sealed lapped joints (refer to wall section for other information).

SILL PLATES: All wood sill plates that rest on concrete or masonry exterior walls shall be pressure preservatively treated in accordance with ANPFA standards or shall be of decay-resistant heartwood of redwood, black locust, or cedars. All sill plates to be set on fiberglass sill sealer or equal.

GLULAM BEAM: Shall be No. 1 Douglas Fir (min. Fb-2200 PSI).

SUB FLOOR: Shall be 3/4" T&G Interior with exterior glue plywood glued and screwed to each framing member @ 6" o/c.

SHEATHING: Shall be 1/2" exterior grade plywood nailed to each framing member.

BRICK OR STONE VENEER: Shall be as shown on plans, laid in cement mortar with galvanized metal wall ties 24" horizontal and vertical. Provide weep holes at 4" o/c max. or as required (option: provide "MortarNet" at bottom of cavity). All joints to be well tooled. Brick and/or stone shall be selected by owner.

ROOFING: All chimneys shall be properly flashed. Provide self-sealing rubberized waterproof membrane (36" wide min.) at all eaves, openings, hips, valleys, and ridges by M.R. Grace and Company or equal (ice and watershield). All roofing shall be installed by qualified roofing contractors, in strict accordance with manufacturer's specifications.

GYPSUM BOARD: 1/2" nailed with rosin nails according to manufacturer's specifications. All joints to be taped and receive three (3) coats of joint compound. Finish to be smooth and even, ready for painting. Provide 5/8" type "X" gypsum board at both sides of garage house walls and ceilings. Also, provide 100 SF min. over furnace.

INSULATION: Shall be fiberglass batts with vapor barrier. Provide insulation as per 2020 Energy Conservation Code Of New York State Section R402. RES-CHECK software is allowed to be used to calculate insulation requirements.

WINDOWS: Shall be ANDERSEN Perma-shield or equal windows with insulated "Low E" glass and screens. Size and type shown on plans. Provide tempered glass where shown or where within 18" of floor.

FRENCH DOORS: Shall be ANDERSEN Frenchwood or equal with tempered insulated "Low E" glass and screens.

FIBER-CEMENT SIDING: Shall be Fiber-cement Plank Siding by JamesHardie. Install according to manufacturer's guidelines and details. Provide 3/8" x 1 1/2" wood starter strip set to true level 1/4" up from bottom edge of siding. Lap siding on 1 1/4" minimum over course below, placing all end joints over stud bearing. Use only galvanized or corrosion resistant fasteners.

INTERIOR DOORS: Interior doors shall be 1 3/8" flush mahogany stain grade or 6 panel pre-hung units, complete with hardware and casing. Siding, bi-fold and pocket doors shall be 1 3/8" flush mahogany or 6 panel doors or as shown on plans, complete with hardware. Provide a self-closing 45 min. rated insulated door and frame between garage and house.

EXTERIOR TRIM: Shall be "Azek" or equal. Size and shape shown on plans.

BUILDING CAVITIES: Building framing cavities shall not be used as ducts or plenums As Per Section R403.3.5 Of the 2020 Energy Conservation Code Of New York State.

Heating:

HEATING: Connect to existing system. Contractor shall check and verify that existing system can handle increase demand of proposed addition. Contractor to provide new complete system if determined existing cannot handle increased demand of new addition.

FIXTURES: As shown on plans shall be AMERICAN STANDARD, KOHLER, or equal. All exposed fittings and pipe to be chrome plated.

Insulation / Energy Code:

INSULATION: Shall be fiberglass batt with foil faced vapor barrier. Pack insulation in all cavities around all exterior windows, doors and other openings.

Material Identification:

Materials and equipment must be installed in accordance with the manufacturer's installation instructions. Materials and equipment must be identified so that compliance can be determined. Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-factors must

Heating & Cooling Piping Insulation:

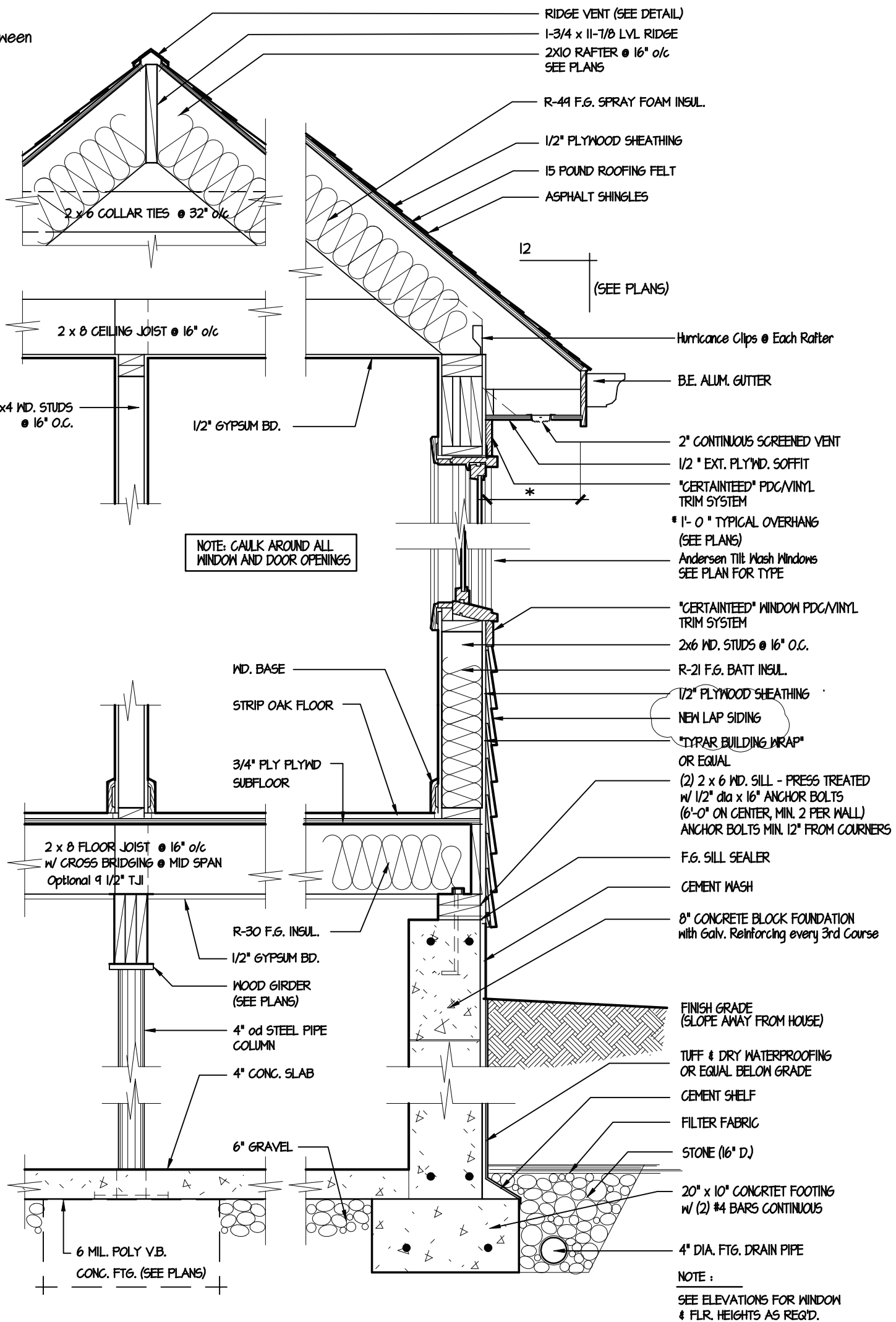
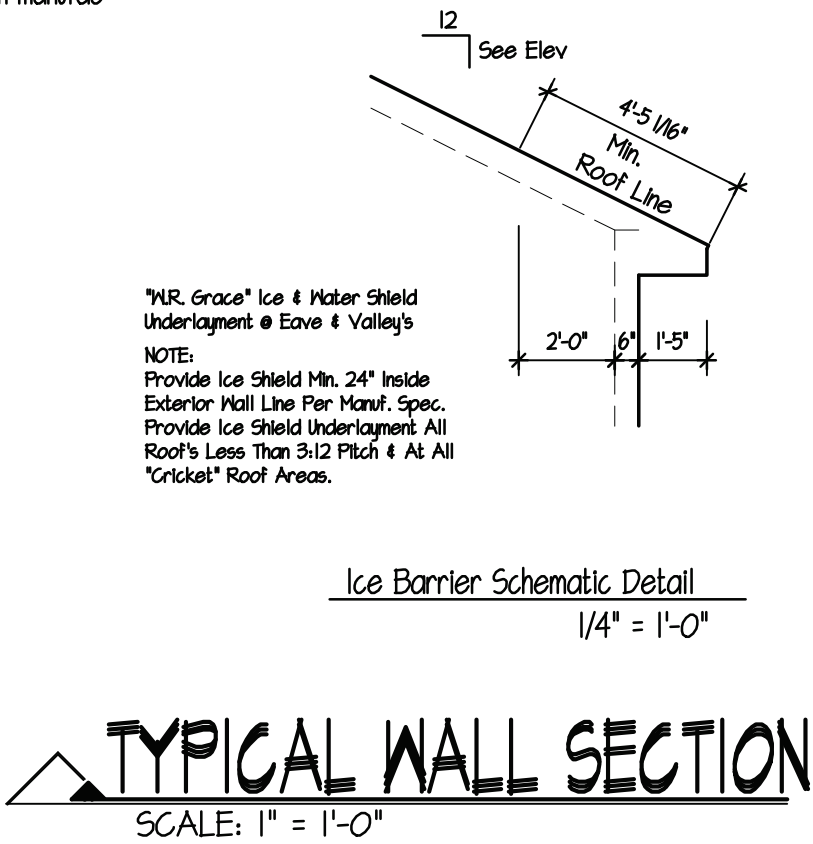
Mechanical system piping capable of carrying fluids above 105 degrees F or chilled fluids below 55 degrees F must be insulated to a Minimum of R-3. See Section R403.4 of the 2020 Energy Conservation Code Of New York State for more detail.

Plumbing:

WORK INCLUDED: Contractor shall furnish all labor, materials and equipment required to fully complete all plumbing work shown on plans.

FLASHING: All pipes passing through roof shall receive aluminum collar, strapped and fitted to provide water-proof seal.

TESTING: Contractor shall test all water, drainage, and vent piping in accordance with local codes.



Addition For
83 Morningside Dr
Ossining, NY

Comments	7/10/24
Revision	Date
Date	Feb 21, 2024
Job No	223 - 171
Drawing	OF

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